



VICINITY MAP



SITE MAP



## PROJECT CONTACTS

### ARCHITECTURAL:

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### PROJECT MANAGER:

DBS Group  
TBD, Title, Accreditations  
Address  
City, State Zip  
(###) ###-####  
email@company.something

### ARCHITECT:

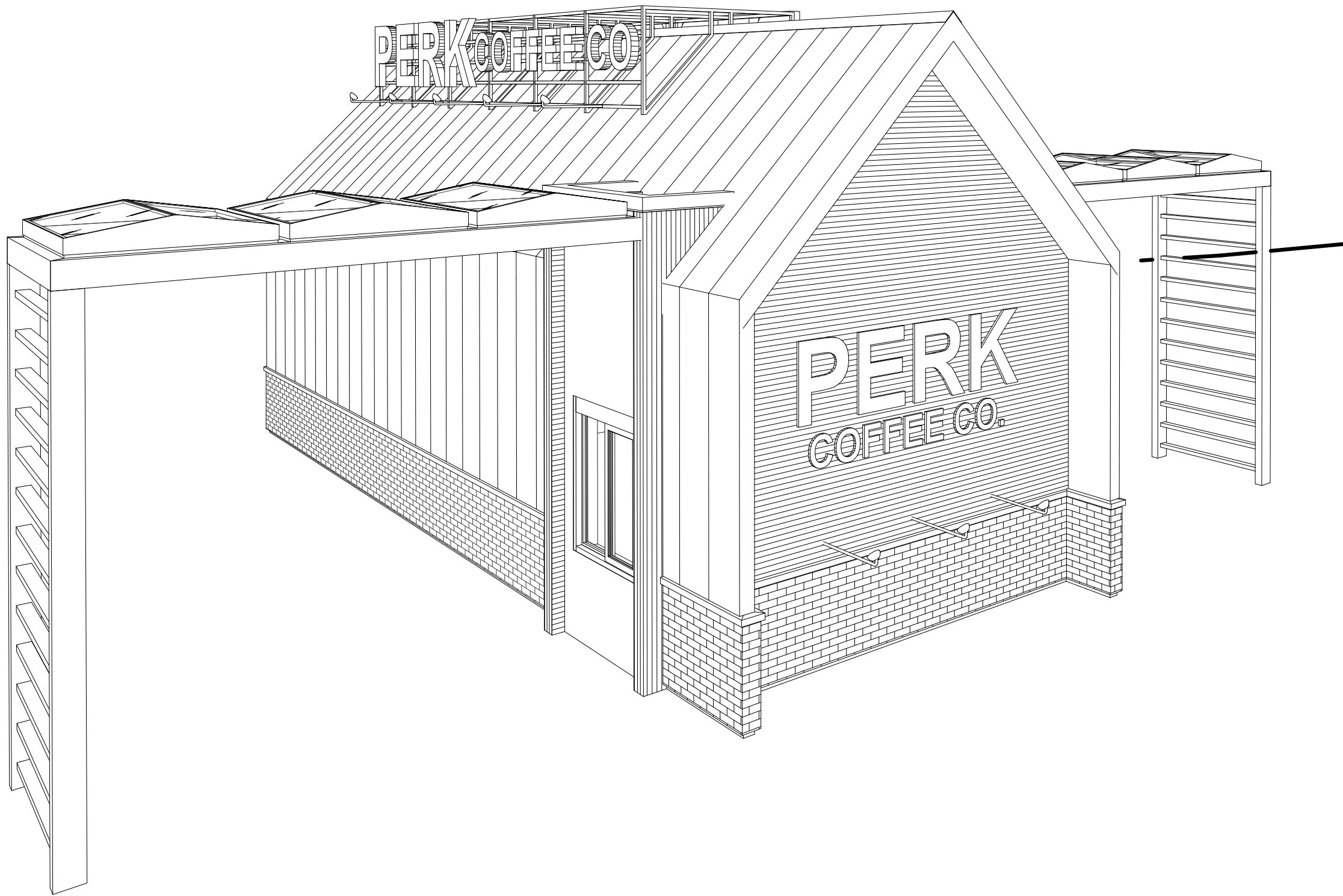
Cashman Associates, Inc.  
Gregory M. Cashman,  
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4798 County HWY I  
Sparta, WI 54656  
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### STRUCTURAL:

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www.DBSG.com



### COMcheck Software Version 4.1.1.0 Envelope Compliance Certificate

Project Information					
Energy Code:	2012 IECC	Owner/Agent:	Greg Cashman		
Project Title:	Perk Coffee		Cashman Associates, INC.		
Location:	Macon, Missouri		4798 County HWY I		
Climate Zone:	5a		Sparta, WI 54656		
Project Type:	New Construction		608-237-7443		
Vertical Glazing / Wall Area:	3%		gcashman@charter.net		
Construction Site:					
1610 N Missouri St.		Owner/Agent:		Greg Cashman	
Macon, MO 63552		Neumann Holdings, LLC		Cashman Associates, INC.	
		1501 N. 12th Street		4798 County HWY I	
		Quincy, MO 63501		Sparta, WI 54656	
		573-248-9006		608-237-7443	
				gcashman@charter.net	
Additional Efficiency Package(s)					
High efficiency HVAC. Systems that do not meet the performance requirement will be identified in the mechanical requirements checklist report.					
Building Area		Floor Area			
1-Retail - Nonresidential		610			
Envelope Assemblies					
Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor
Roof 1: Attic Roof with Wood Joists, [Bldg. Use 1 - Retail]	610	49.0	0.0	0.021	0.027
Floor 1: Slab-On-Grade Unheated, Vertical 3 ft., [Bldg. Use 1 - Retail] (b)	108	---	10.0	0.510	0.540
NORTH					
Exterior Wall 1: Wood-Framed, 10" o.c., [Bldg. Use 1 - Retail]	495	19.0	0.0	0.067	0.064
Window 1: Metal Frame with Thermal Break Operable, Part Type: Energy code default, Double Pane, Clear, SHGC 0.70, [Bldg. Use 1 - Retail]	20	---	---	0.650	0.450
EAST					
Exterior Wall 2: Wood-Framed, 10" o.c., [Bldg. Use 1 - Retail]	240	19.0	0.0	0.067	0.064
Door 1: Insulated Metal, Swinging, [Bldg. Use 1 - Retail]	21	---	---	0.370	0.370
SOUTH					
Exterior Wall 3: Wood-Framed, 10" o.c., [Bldg. Use 1 - Retail]	495	19.0	0.0	0.067	0.064
Window 2: Metal Frame with Thermal Break Operable, Part Type: Energy code default, Double Pane, Clear, SHGC 0.70, [Bldg. Use 1 - Retail]	20	---	---	0.650	0.450
WEST					
Exterior Wall 4: Wood-Framed, 10" o.c., [Bldg. Use 1 - Retail]	240	19.0	0.0	0.067	0.064
(a) Budget U-Factors are used for some baseline calculations ONLY, and do not include requirements.					
(b) Slab-On-Grade proposed and budget U-Factors shown in table are F-Factors.					

Project Title: Perk Coffee  
Data filename: Untitled.cck  
Report date: 08/23/21  
Page 1 of 9

Envelope PASSES: Design 0.2% better than code  
Envelope Compliance Statement  
Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 2012 IECC requirements in COMcheck Version 4.1.1.0 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name: Title Signature Date

Project Title: Perk Coffee  
Data filename: Untitled.cck  
Report date: 08/23/21  
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A-500	EQUIPMENT PLAN & DUMPSTER ENCLOSURE
Grand total: 18	

## ISSUED FOR BID / PERMIT

PROJECT NUMBER: 20065  
DATE: 8/20/2021

# NFI Perk Coffee Drive Thru - Macon

## Macon, MO 63552

SHEET #

G-001





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**FOUNDATION PLAN NOTES:**

1. CONTRACTOR SHALL PROVIDE FROST PROTECTION AND MOISTURE PROTECTION FOR FOOTINGS EXPUNDED DURING CONSTRUCTION.
2. REFER TO ARCHITECTURAL DRAWINGS OR PLUMBING DRAWINGS FOR SPECIFIC LOCATION OF FOUNDATION AND FOOTING.
3. REFER TO STRUCTURAL DETAIL PLAN SHEETS FOR MISCELLANEOUS DETAILS NOT INDICATED ON PLAN.
4. NOTIFY ENGINEER OF ANY UNUSUAL SOIL CONDITIONS. ALL FOOTINGS SHALL REST ON UNDISTURBED ROCK OR OLD EXCAVATIONS. NO FOOTINGS SHALL BE APPROVED BY ENGINEER FOR NOTIFICATION TO PLACEMENT OF CONCRETE.
5. WHEN REQUIRED, REMOVE UNSUITABLE EXISTING SOILS BELOW FOOTINGS. EXISTING SOILS TO BE REMOVED SHALL BE COMPACTED TO ENGINEERED FILL, COMPACTED TO 96% OF THE MODIFIED PROCTOR DENSITY TO THE REQUIRED FOOTING BEARING CAPACITY AS INDICATED IN THE STRUCTURAL DRAWINGS. THE REMOVED SOILS SHALL BE SOLIDLY FIELD VERIFIED BY PLACING AND PLACEMENT SHALL CONFORM TO SPECIFICATIONS UNDER THE DIRECTION OF THE ENGINEER. THE REMOVED SOILS SHALL BE FIELD VERIFIED BY BEARING CAPACITIES BEFORE FOOTINGS ARE POURED. CONTRACTOR ENGINEER SHALL BE NOTIFIED OF ANY FIELD VERIFICATION RESULTS.
6. PROVIDE A MINIMUM OF 6 INCHES OF WELL COMPACTED GRANULAR FILL BELOW ALL SLABS ON GRADE. CONTRACTOR TO 98% OF THE MODIFIED PROCTOR DENSITY.
7. CONCRETE EXPOSED TO WEATHER (RETAINING WALLS, EXTERIOR SLABS, WALKS, CURBS, ETC.) SHALL BE FIELD VERIFIED BY BEARING CAPACITIES SHALL CONTAIN 4 TO 7 PERCENT AIR BY VOLUME.
8. DELIVERY TICKETS FOR EACH LOAD OF CONCRETE DELIVERED TO THE JOB SITE SHALL BE FURNISHED UPON REQUEST TO THE ENGINEER. TICKET INFORMATION SHALL INCLUDE: LOT NUMBER, PERMITS, ELEVATION INFORMATION, INCLUDING AMOUNT OF WATER ADDED AT THE JOB SITE, ETC.
9. VERIFY PIER CENTERLINE SPACING, ANCHOR BOLT LAYOUT, AND FOUNDATION FOOTING CENTERLINE SPACING. VERIFY THAT ALL BASE PLATES WILL BEAR FULLY ON CONCRETE PIERS. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.
10. FORMWORK FOR FOOTINGS SHALL CONSIST OF A MANUFACTURED FORM SYSTEM OF A MINIMUM 1" THICK WOOD PLANK SITUED TO WOOD OR STEEL STAKES. PILES FOR EXCAVATION BARGE MAY NOT BE DONE WITHOUT PRIOR APPROVAL OF THE ENGINEER.
11. MIXING AND PLACING OF CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318 CONCRETE SHALL BE DEPOSITED AS NEARLY AS PRACTICABLE TO ITS FINAL POSITION AND THE EXCESS CONCRETE DUE TO OVER PLACING SHALL BE REMOVED. THERE SHALL BE CARRIED ON SUCH A RATE THAT CONCRETE IS AT ALL TIMES PLACING AND THE EXCESS CONCRETE DUE TO OVER PLACING SHALL BE REMOVED. CONCRETE SHALL BE THOROUGHLY CONSOLIDATED BY SUITABLE MEANS DURING PLACEMENT AND SHALL BE PROTECTED BY AN APPROPRIATE REINFORCEMENT AND EMBEDDED FITURES AND INTO CORNERS OF FORMS.
12. ENGINEER ASSUMED 2,000 P.S.I. SOIL BEARING CAPACITY BASED ON TABLE 100.2 OF THE 2015 IBC. CONTRACT OWNER & ENGINEER IF SOILS ARE SUSPECT OF A LESSER BEARING CAPACITY.
13. PRIOR TO CONSTRUCTION, VERIFY OPENINGS IN FOOTINGS & FOUNDATION WALLS FOR ALL OTHER TRADES.
14. CONTRACTOR SHALL PROVIDE 6 MIL. POLY URETHANE BARRIER BENEATH SLAB ON GRADE.
15. CONCRETE MEMBERS SHALL BE CAST USING THE FOLLOWING CONCRETE STRENGTHS:
  - a. 3500 PSI FOR FOOTINGS, WALLS, AND INTERIOR SLABS ON GRADE.
  - b. 4000 PSI FOR EXTERIORED, EXPOSED TO WEATHER, RETAINING WALLS, CURBS AND GUTTER, SIDEWALK AND LITE CONSTRUCTION.

NFI Perk Coffee Drive Thru - Macon  
1610 N Missouri St. Macon, MO 63552

# FOUNDATION PLAN

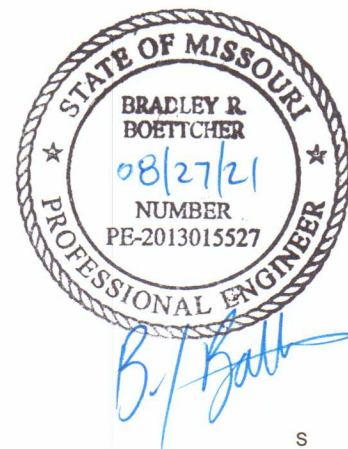
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<b>DRAWN BY:</b> Z.S.	<b>PROJECT #</b> 20065
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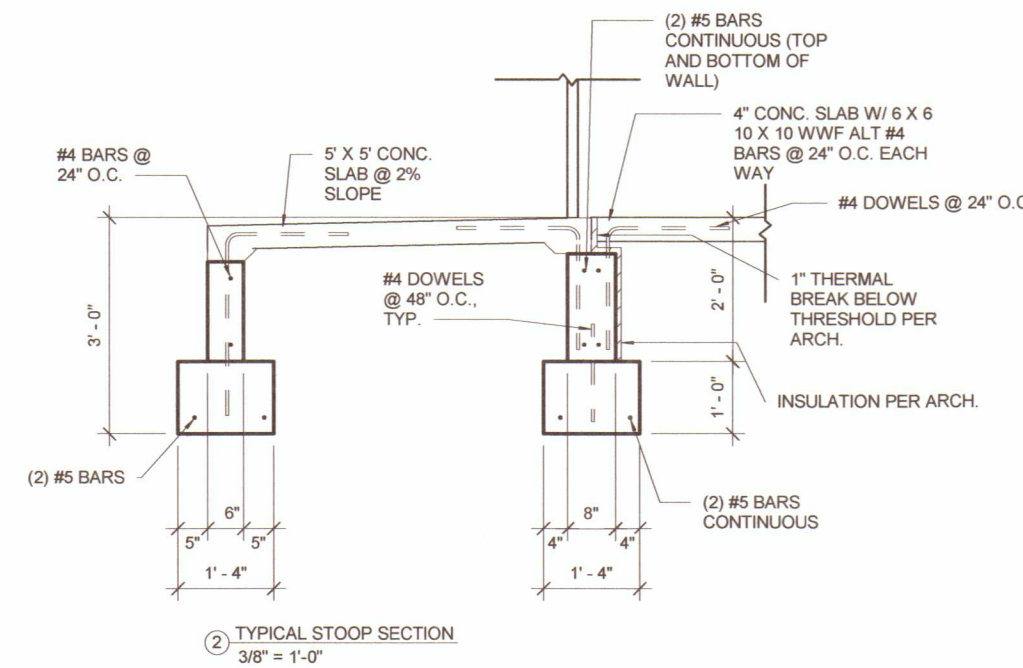
SHEET #

S-100

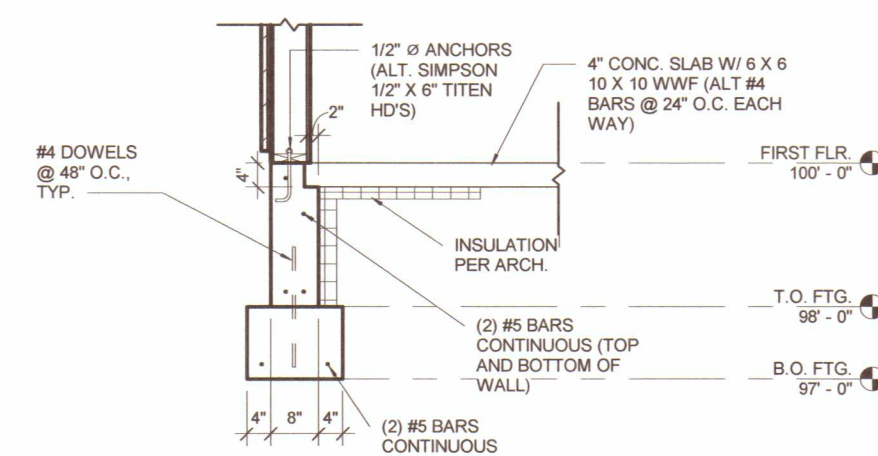
ISSUED FOR BID / PERMIT



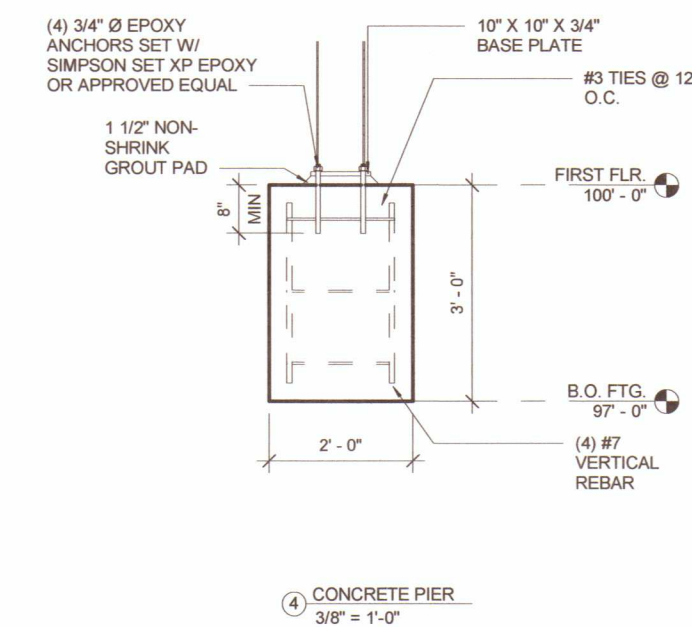
① FOUNDATION PLAN  
1/4" = 1'-0"



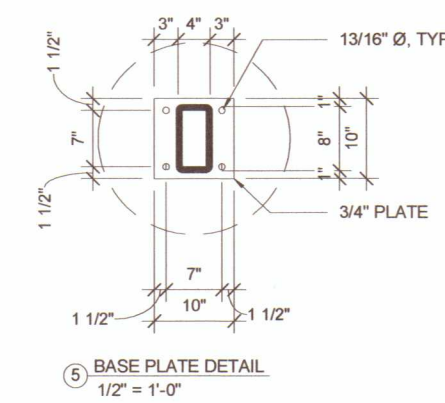
② TYPICAL STOOP SECTION  
3/8" = 1'-0"



③ TYPICAL WALL SECTION  
3/8" = 1'-0"



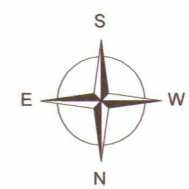
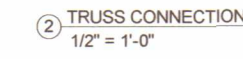
④ CONCRETE PIER  
3/8" = 1'-0"



⑤ BASE PLATE DET  
1/2" = 1'-0"

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## ROOF FRAMING PLAN


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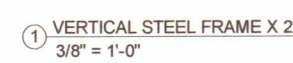
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<b>SHEET #</b>	

# S-200

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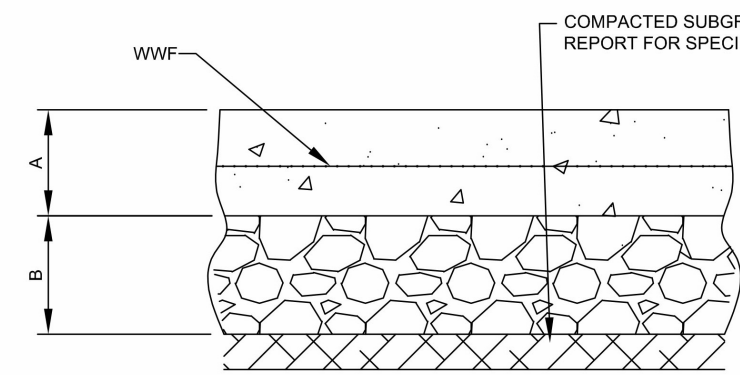


## STRUCTURAL DETAILS

SHEET #

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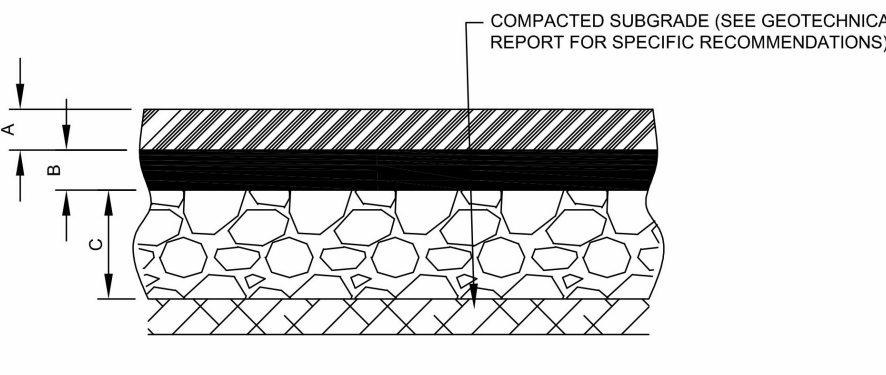
- 1 A. REINFORCED PORTLAND CEMENT CONCRETE PAVEMENT WITH 6"x6" #6 WWF,  
6"  
B. AGGREGATE BASE COURSE, TYPE A, 4"
- 2 A. PORTLAND CEMENT CONCRETE, 6"  
B. AGGREGATE BASE COURSE, TYPE A, 4"
- 3 A. REINFORCED PORTLAND CEMENT CONCRETE PAVEMENT WITH 6"x6" #6 WWF,  
6"  
B. AGGREGATE BASE COURSE, TYPE A, 6"



CONCRETE PAVEMENT

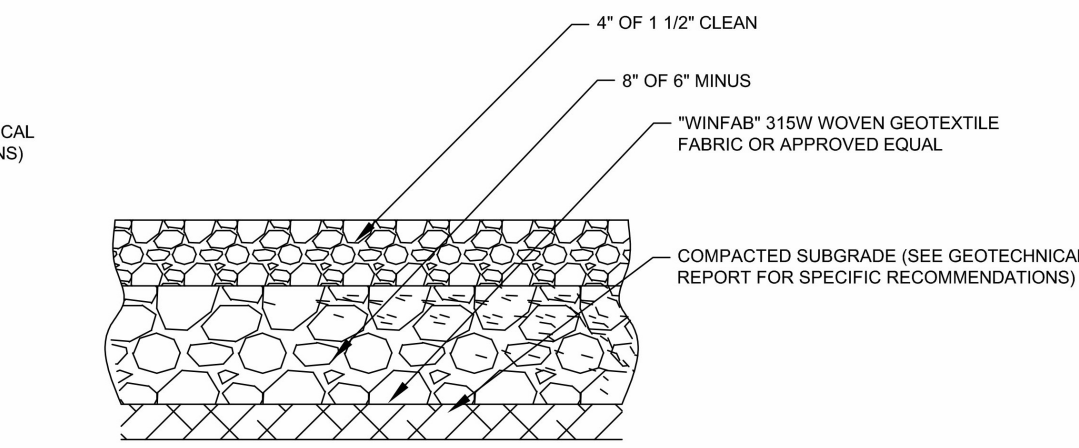
NO SCALE

- 1 A. HMA, SURFACE COURSE, 1 1/2"  
B. HMA, BINDER COURSE, 3"  
C. SUB-BASE, CA-6, 10"
- 2 A. HMA, SURFACE COURSE, 1 1/2"  
B. HMA, BINDER COURSE, 2"  
C. SUB-BASE, CA-6, 6"



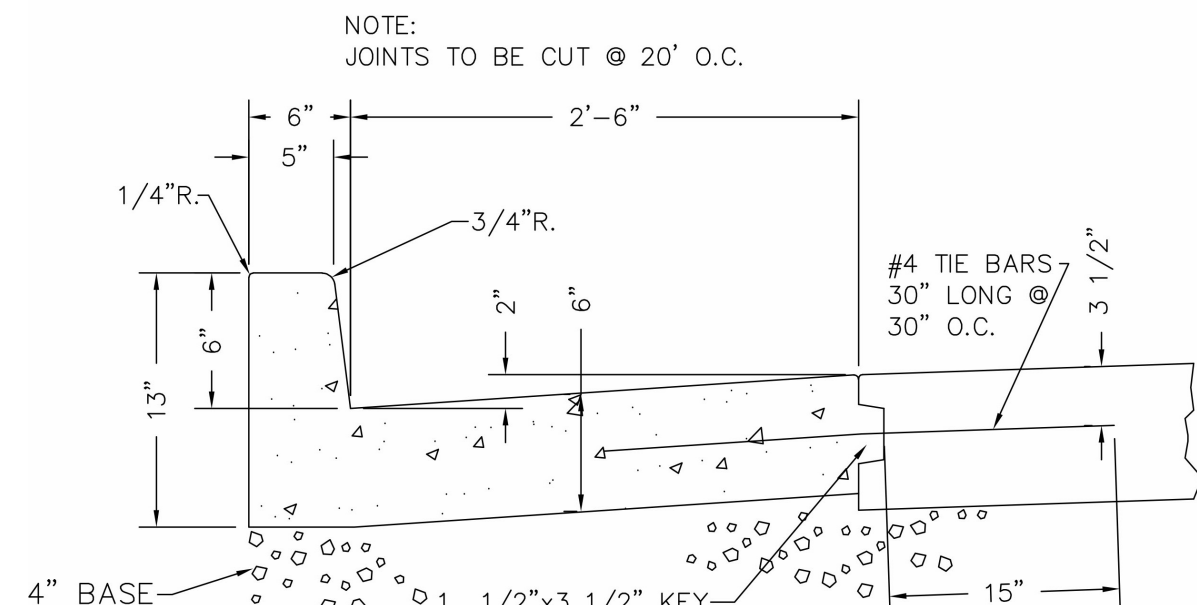
ALTERNATE FLEXIBLE PAVEMENT

NO SCALE



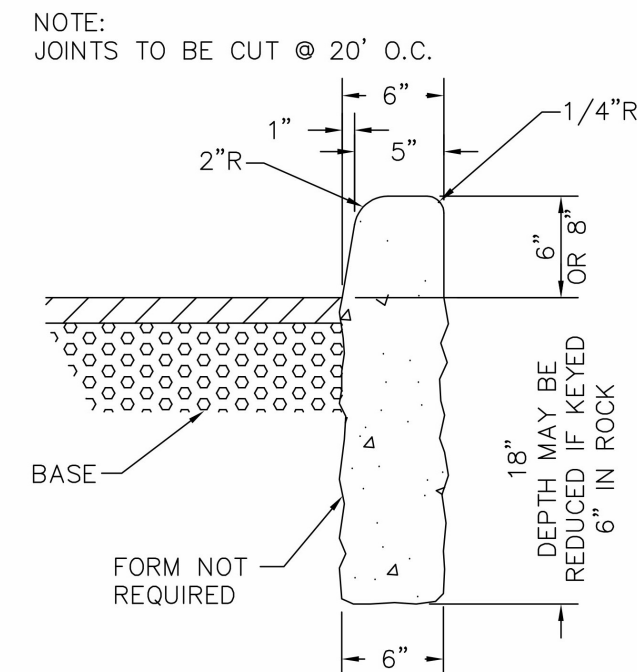
GRAVEL SURFACING

NO SCALE



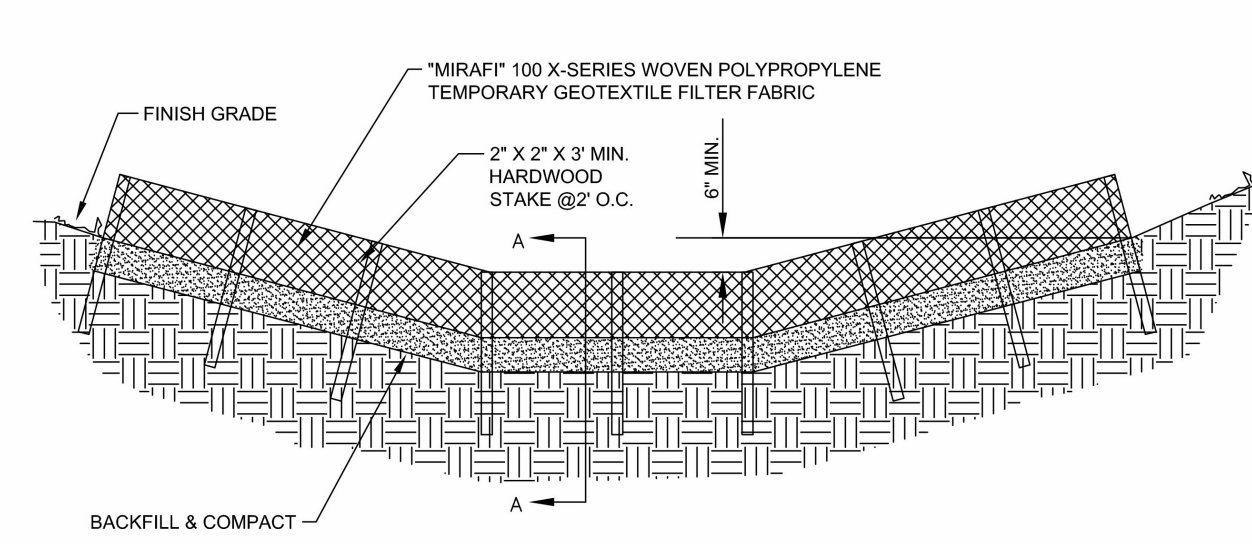
BARRIER CURB AND GUTTER

NO SCALE



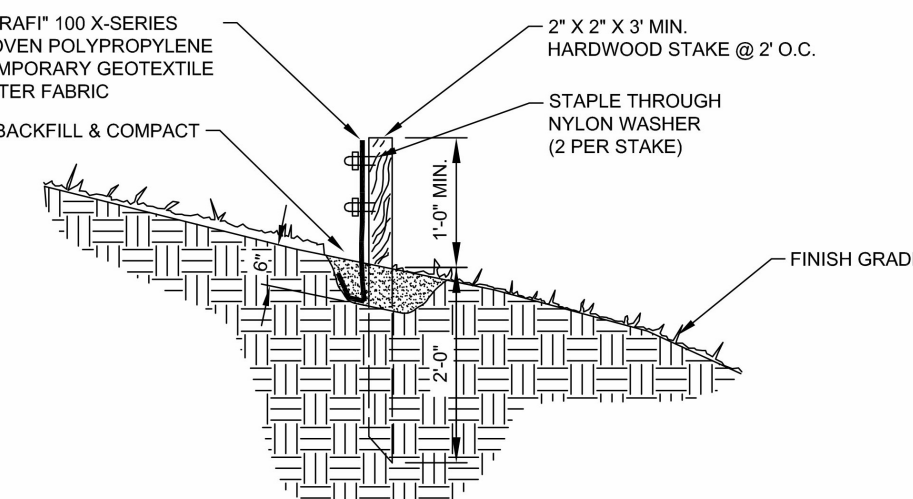
BARRIER CURB

NO SCALE

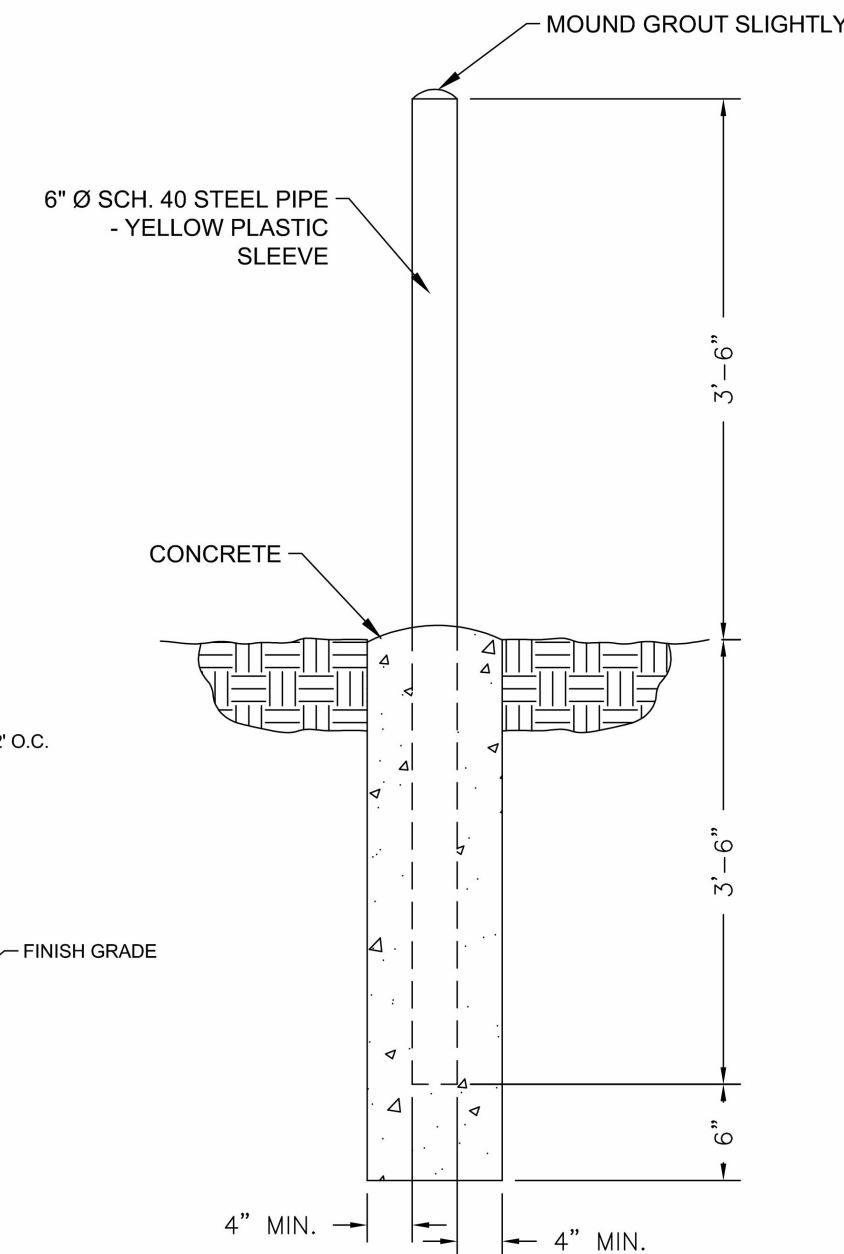


EROSION CONTROL (SILT FENCE)

NO SCALE



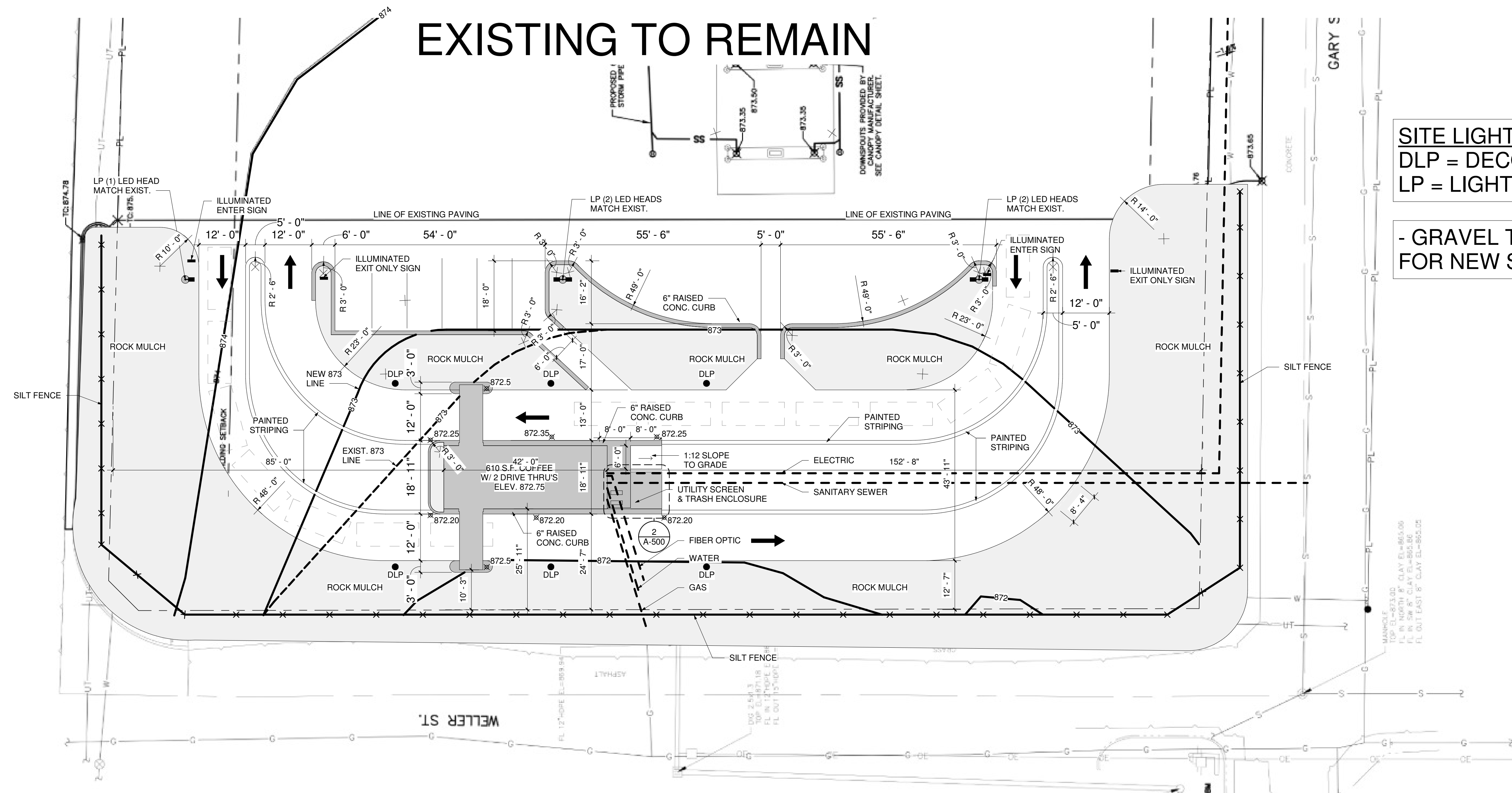
SECTION A-A



BOLLARD POST

NO SCALE

## EXISTING TO REMAIN



**SITE LIGHTING LEGEND:**  
DLP = DECORATIVE LIGHT POLE  
LP = LIGHT POLE

- GRAVEL TO BE REMOVED  
FOR NEW SITE PAVING

1 SITE PLAN  
A-100 1/16" = 1'-0"



NFI Perk Coffee Drive Thru - Macon  
1610 N Missouri St.  
Macon, MO 63552

### SITE PLAN

#	DATE	DESCRIPTION

DRAWN BY: CJN PROJECT # 20065  
SHEET #

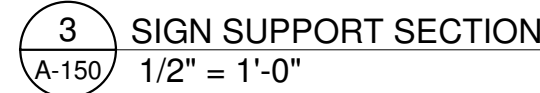
A-100

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- REFER TO PLUMBING, MECHANICAL, ELECTRICAL FOR LOCATIONS OF RELATED ITEMS.
- COORDINATE WITH HVAC AND ELECTRICAL PLANS FOR LOCATIONS/QUANTITIES/TYPES OF DIFFUSERS AND LIGHTS.
- REFER TO ROOM FINISH SCHEDULES FOR CEILING MATERIALS AND HEIGHTS.

1	2x2 VINYL GYP. CEILING TILES W/ WHITE ALUMINUM GRID
2	AP / 36"x36" ATTIC ACCESS PANEL ABOVE (33"x33" CLR OPENING SIZE) 30" MINIMUM CLEAR HEADROOM HEIGHT AT ENTRY POINT LOCATION IS APPROXIMATE - COORDINATE ACCESS LOCATION WITH ROOF TRUSSES.
3	GALVANIZED STEEL / SKYLIGHT CANOPY STRUCTURE
4	2x4 LED TROFFER LIGHT - SEE ELECTRICAL PLANS FOR EXACT LIGHTING LAYOUT & EMERGENCY LIGHT LOCATIONS
5	LED EXIT SIGN W/ EMERGENCY LIGHTS
6	EXHAUST FAN, VENT THROUGH END WALL - SEE MECHANICAL PLANS

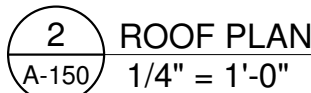
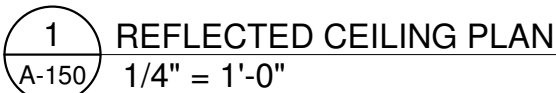
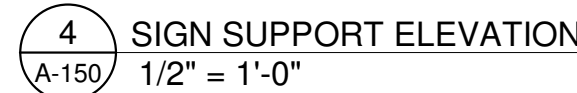


**DBS GROUP**

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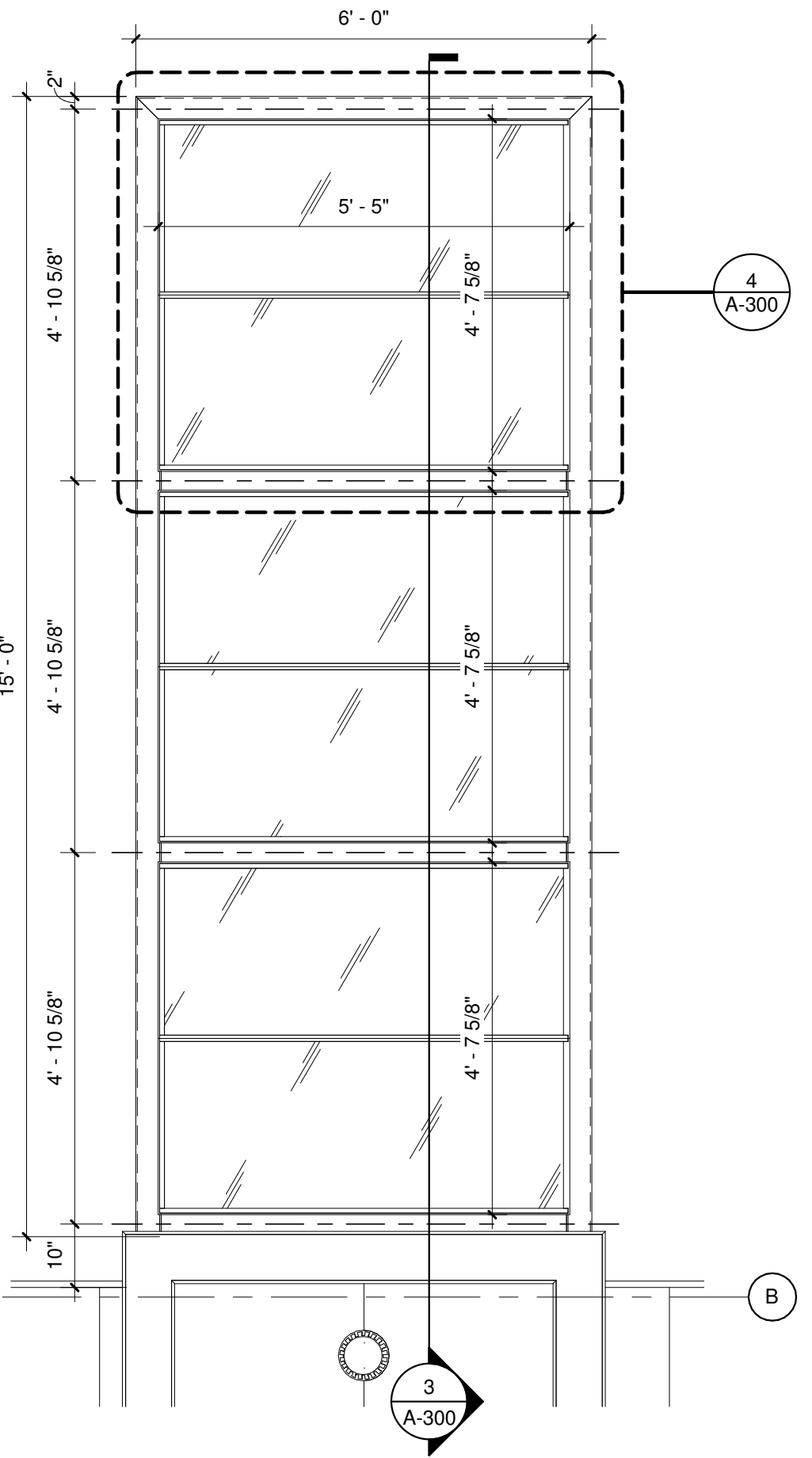
NFI Perk Coffee Drive Thru - Macon  
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Macon, MO 63552

<b>DRAWN BY:</b> CJN	<b>PROJECT #</b> 20065
<b>SHEET #</b>	

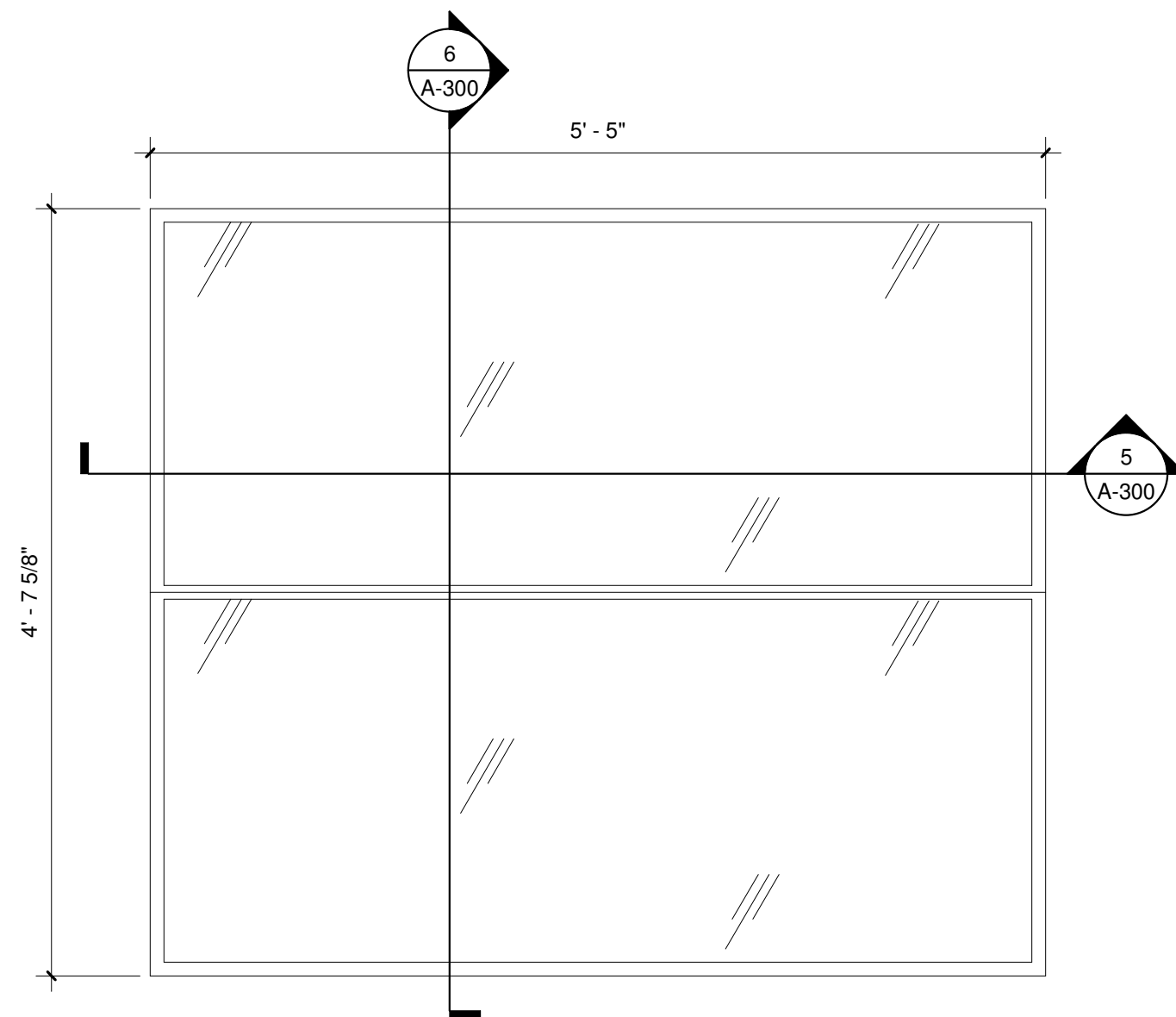
# A-150

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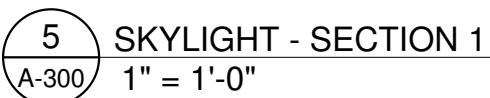


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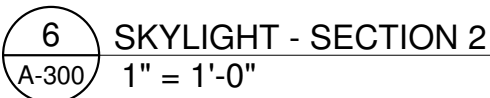
2 CANOPY PLAN VIEW  
A-300 1/2" = 1'-0"



4 SKYLIGHT - PLAN  
A-300 1" = 1'-0"



5 SKYLIGHT - SECTION 1  
A-300 1" = 1'-0"

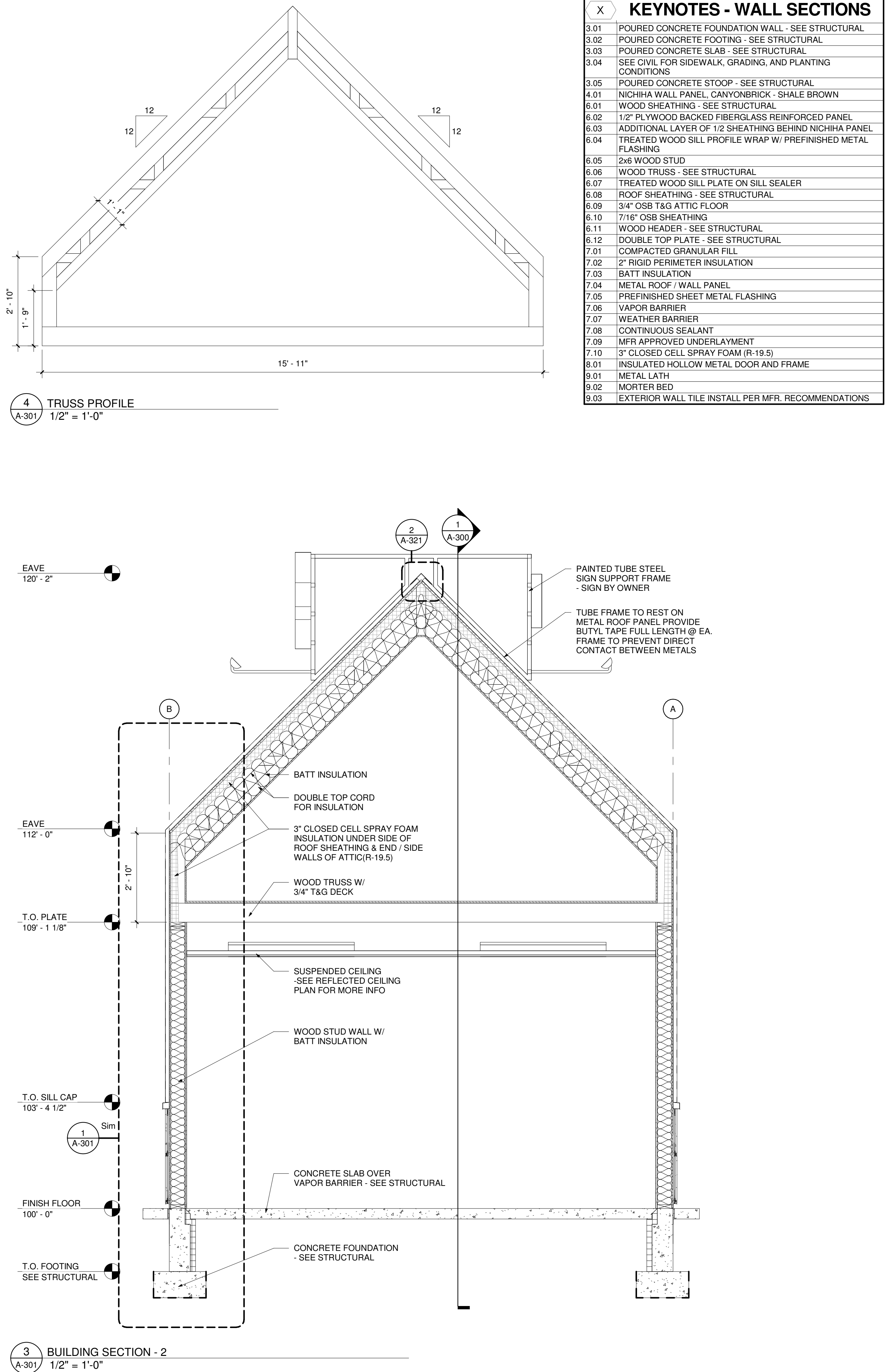


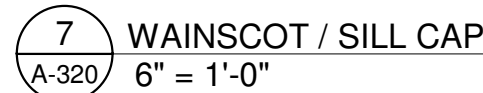
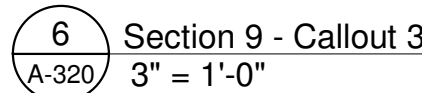
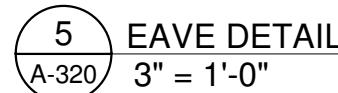
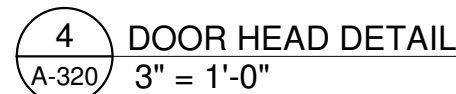
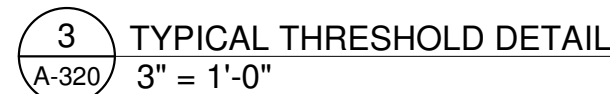
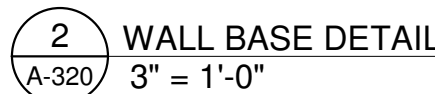
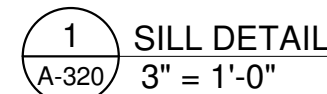
6 SKYLIGHT - SECTION 2  
A-300 1" = 1'-0"

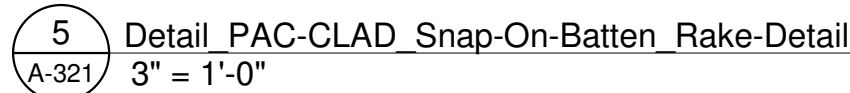
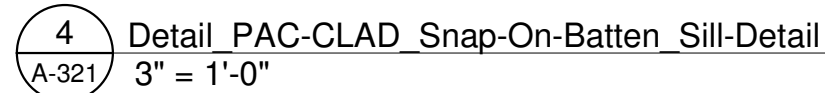
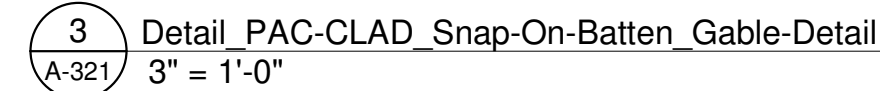
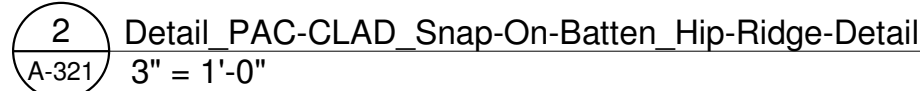
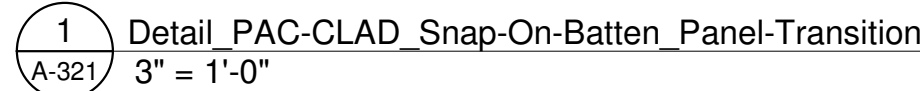
NFI Perk Coffee Drive Thru - Macon  
1610 N Missouri St.  
Macon, MO 63552

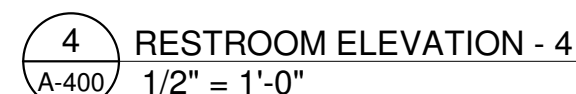
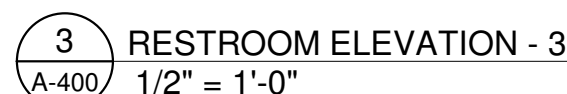
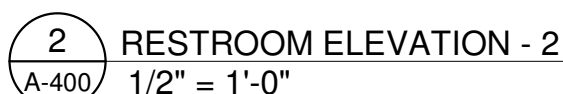
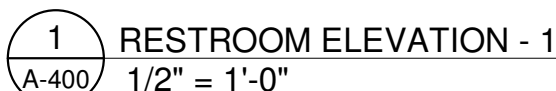
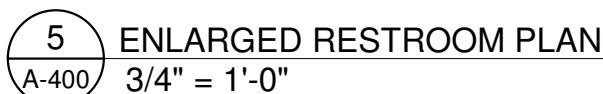
SHEET #

ISSUED FOR BID / PERMIT









TAG	ITEM
CHD	COAT HOOK - DOOR MOUNTED
GB18	18" GRAB BAR
GB36	36" GRAB BAR
GB42	42" GRAB BAR
LAV	LAVATORY
M24	24x36 MIRROR W/ STAINLESS STEEL CHANNEL FRAME
SND	SANITARY NAPKIN DISPOSAL
PTD	PAPER TOWEL DISPENSER
SD	SOAP DISPENSER
TPH	TOILET PAPER HOLDER
FD	FLOOR DRAIN
WC	WATER CLOSET
SS	SERVICE SINK
MBR	MOP & BROOM HOLDER W/ SHELF

ISSUED FOR BID / PERMIT

LEGEND - EQUIPMENT	
CODE	DESCRIPTION
C01	Automatic Coffee Machine - Franke A1000
C02	Milk Refrigerator - SU12 CM (Part of Franke A1000)
C03	Flavor Station FS6 - Franke A1000 add-on
C04	Undercounter Refrigerator - 2 Door
C05	Sparkling Water Tap and Pitcher Rinser
C06	L3D-10 1 Gallon Servers
C07	POS Cash Register Terminals
C08	Stand Up Desk w/ "IT" Mounted Above
C09	Scotsman C0330 Prodigy Plus
C10	Dump Sink
C11	Microwave
C12	Vitamix Blender
C13	Syrup Rack - Fountain Soda
C14	Hand Sink
C15	CBS-2152KTS Coffee Brewer
C16	Mahikoniq GH-2 Coffee Grinder
C17	2 Door Freezer
C18	H10X Hot Water Tower
C19	2 Door Refrigerator
C20	Tea Pour Over Station
C21	Robot Coupe 10G
C22	Fountain Gun
C23	Counter Cup Holder
C24	TB6D, 29" Trunk / (2)TDO-N-3.5 Iced Tea Dispenser
C25	TurboChef i3 Oven
C26	Scotsman UC2024
C27	TurboChef Single Batch Oven

